

# UPPER TOWNSHIP

*Form-Based Code*

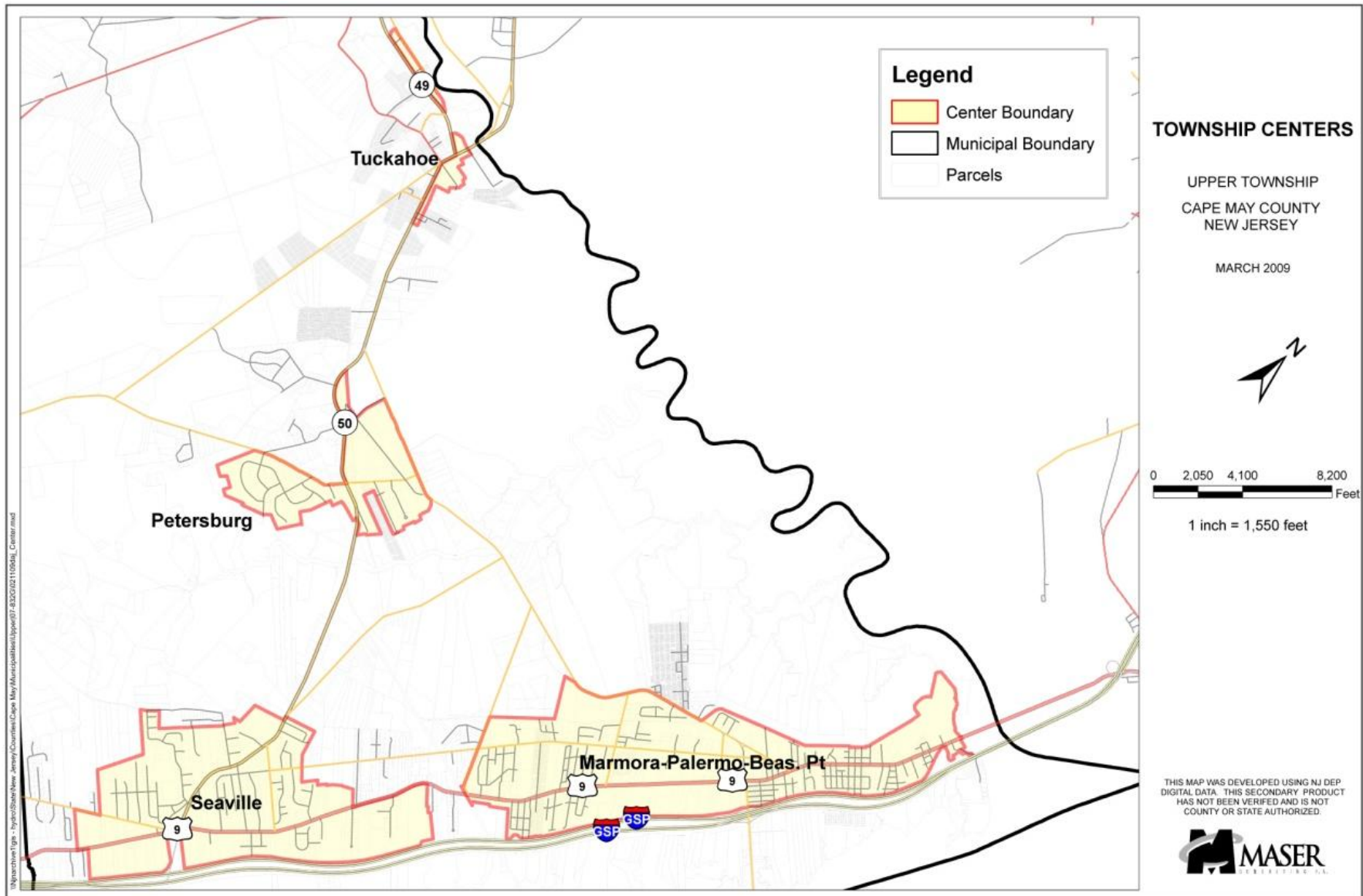
# THE PROJECT

- \$50,000 grant from the NJOSG to prepare Form-Based Code guidelines
- The NJOSG grant requires that the process thoroughly engage the public through a phased participation process

## Project timeline:

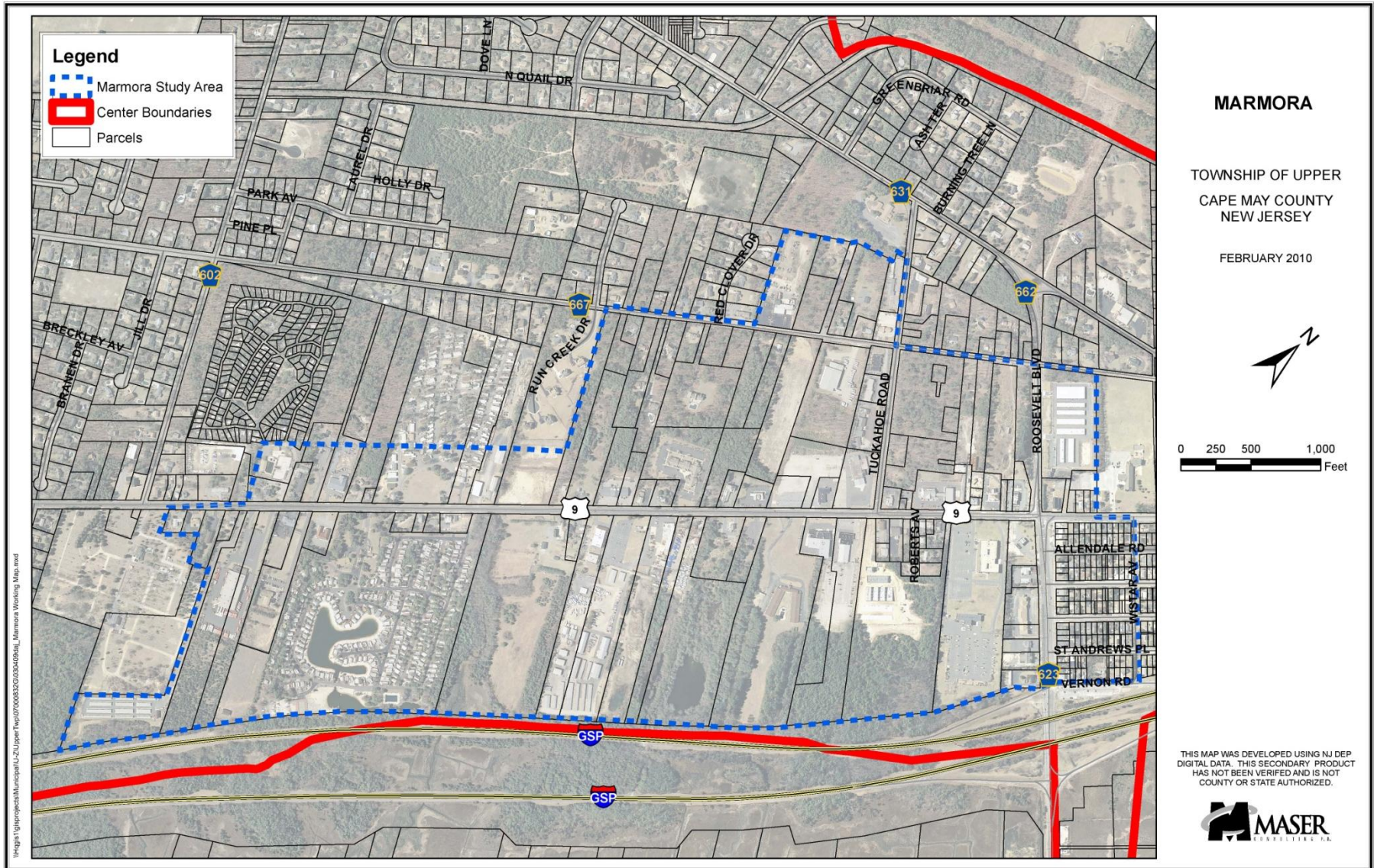
- Background analysis
- First workshop | March 7, 2009
- Analysis of first workshop
- **Second workshop**
- Refinement based on second workshop
- Public presentation of FBC

# STUDY AREA





# Marmora









NO  
STOPPING  
OR  
STANDING  
←

Wal-Mart  
MARKET  
29.99  
1.99  
Walmart.com

DO NOT  
BLOCK  
DRIVEWAY





39

Tuckahoe Rd

TUCKAHOE

VOLVO

CAPE FEAR

FREE  
Checking\*  
FREE  
Gift!

Stecher  
Jewelers

Econo  
Lodge

PT-618F

















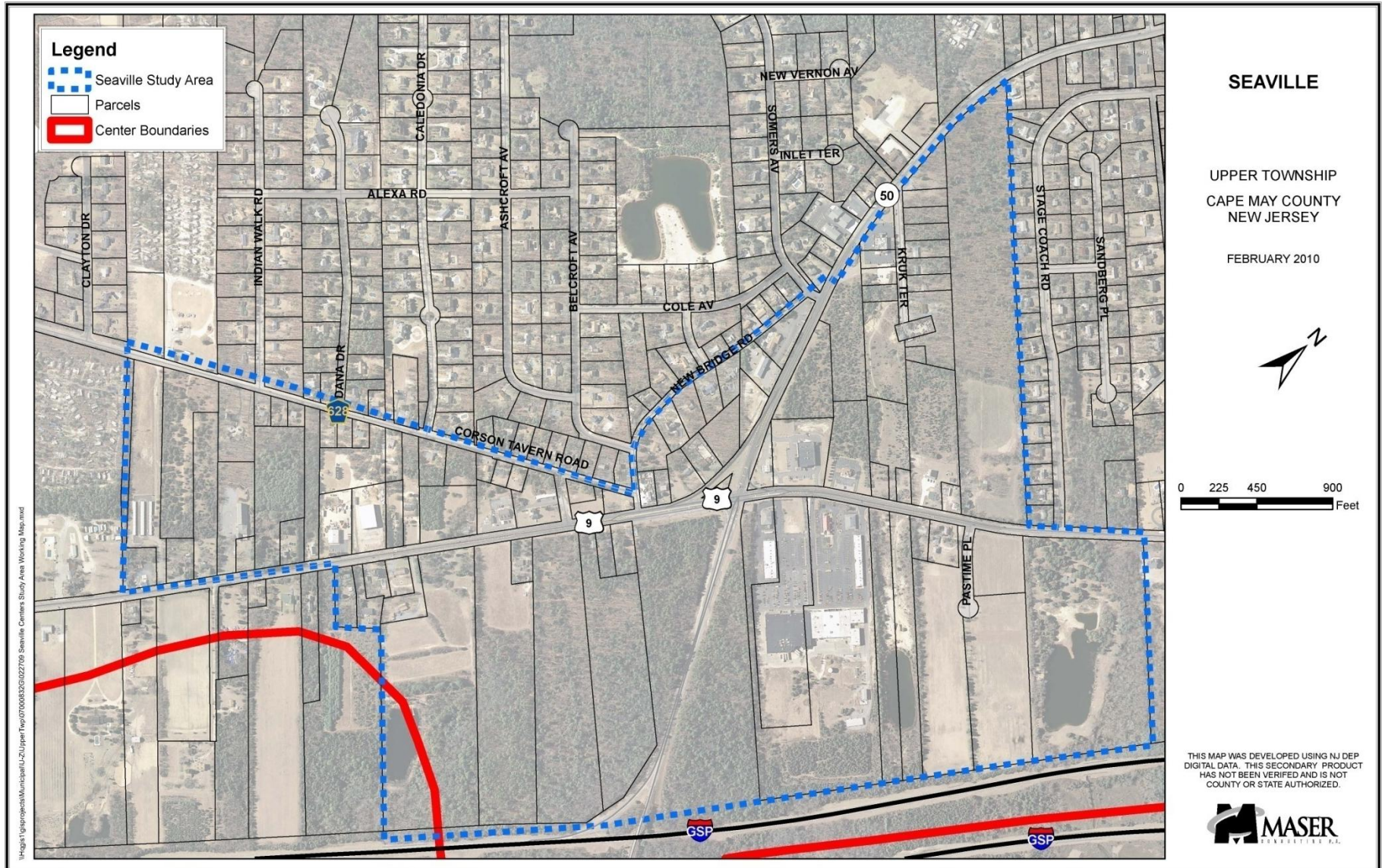
PIZZA 9

Entering  
Marmora  
in  
Upper Twp

ROAD  
WORK  
1 MILE



# Seaville











Seaville Plantation









# Peebles

**SALE**

BALANCE  
FITNESS & HEALTH CENTER











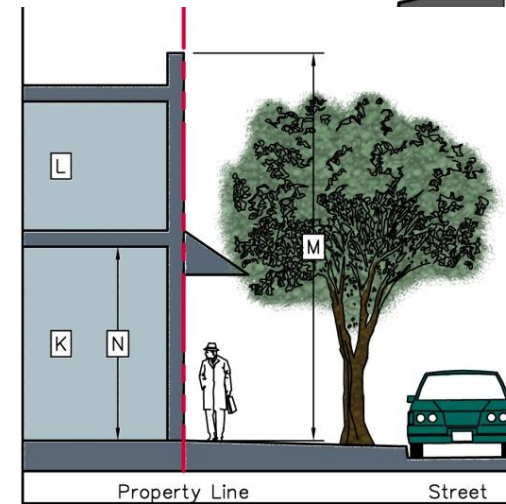
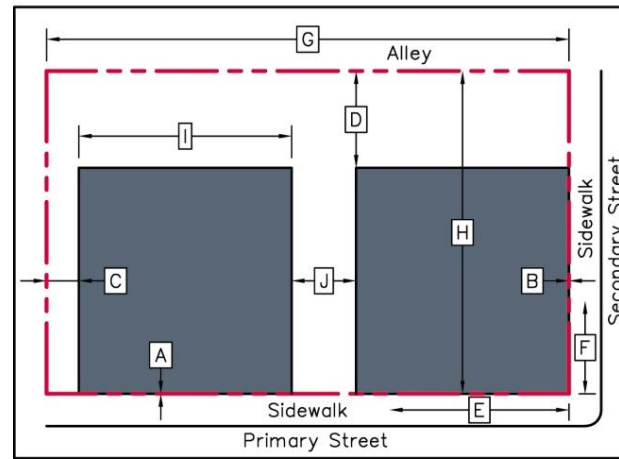






# FORM-BASED CODE

- Looks at the relationship between buildings and the street
- Analyzes the mass of buildings in relation to each other
- Regulations are presented with both text and graphics





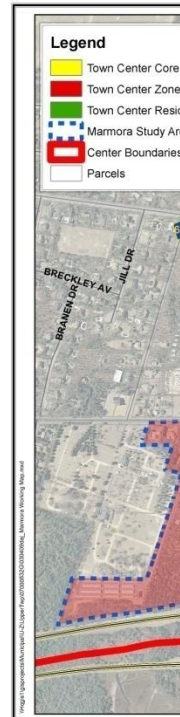
# FORM-BASED CODE

Form-based codes typically include the following elements:

1. **Regulating Plan**
2. **Building Form Standards**
3. **Public Space Standards**




Form-based codes sometimes include:

1. **Architectural Standards**
2. **Landscaping Standards**
3. **Signage Standards**



Draft Form-Based Code | Upper Township

Directional signs are permitted throughout the Town Centers to orient and educate visitors about parking locations, public buildings, attractions and historical places. Many communities are using directional signage as a marketing and branding element. The Township is the only permitted entity to install directional signage within the right-of-way. Examples are shown below:



This section shall serve to amend Chapter 20-5.10.b.3 and 4 of the Zoning Ordinance with regards to the TC and TCC Zones. The TCR Zone shall follow the signage regulations contained in Chapter 20-5.10.b.6.

**TC and TCC Permitted Signage**

(a) Wall signage




- (1) One of the three below for each street frontage of each business:
  - i. Internally-lit raised letters with concealed ballast.
  - ii. Back-lit raised letters with concealed ballast.
  - iii. Signage board with gooseneck lighting.
- (2) Area shall be 80% of the linear lessee frontage to a maximum of 30 square feet.
- (3) Wall signage is also permitted for walls facing rear parking areas with the same area as permitted on the front façade.
- (4) Wall signage must be located below the second story floor line.

(b) Hanging Signs

- (1) One sign is permitted per business per street frontage that is attached perpendicular to the street in addition to the wall signage.
- (2) Area shall be a maximum of 10 square feet.
- (3) Letter/logo height shall be a maximum of 6".
- (4) Hanging signage must be located below the second story floor line.

(c) Street Address Signage



- (1) Street address signage is required on each building or individual tenant.
- (2) Numbers shall be a maximum of 8" in height.




**MARMORA REGULATING (ZONING) PLAN**

TOWNSHIP OF UPPER  
CAPE MAY COUNTY  
NEW JERSEY

FEBRUARY 2010



MAP WAS DEVELOPED USING NJ DEP DATA. THIS SECONDARY PRODUCT IS NOT BEEN VERIFIED AND IS NOT COUNTY OR STATE AUTHORIZED.





Process

*Form-Based Code*



# COMMUNITY VISION SURVEY

- Participants were asked to rate the images they saw on how **appropriate** they were for the future of the Town Centers.
- Residents were asked to rate each image from -5 to +5.
- The six **highest** images are shown first. They represent the six images that are **most appropriate** according to the participants for the future of Seaville and Marmora.



## 3.3 (1.3)





3.2 (2.0)



#71



3.2 (1.7)



#75



3.1 (2.4)



#80



## 3.1 (2.0)



#49



3.1 (1.9)



#72



# COMMUNITY VISION SURVEY

- The six **lowest** images are shown next.
- The lowest ranked numbers represent the six images that were determined to be **completely inappropriate** for the Centers.



-3.7 (2.0)



#5



# STREETS

-3.5 (2.2)



#1



-3.4 (2.3)



#20



**-2.9 (2.2)**



**#35**



# BUILDING

-2.6 (2.8)



#32



-2.5 (2.6)



#34



STREETS





2.5 (2.5)

#11



2.4 (2.7)



#8



PEDESTRIAN REALM





2.7 (2.9)

#24



2.7 (2.5)



#22



# BUILDING TYPOLOGIES





1.4 (2.6)

#29



1.7 (2.5)



#38



OPEN SPACE





3.0 (1.6)

#58





2.5 (2.6)

#59



PARKING





2.2 (1.9)

#69



2.0 (2.4)



#64



# COMMUNITY QUESTIONNAIRE

- 8 categories
- 87 responses
- Describe Upper in 3 words:
  - Safe
  - Quiet
  - Rural
- Describe the characteristics of a community you would like to live in:
  - Safe
  - Attractive
  - Convenient



# COMMUNITY QUESTIONNAIRE

- 37.6% of participants want new development plans to include walking and cycling trails
- 48.3% of participants rated the visual character of Marmora as **poor**
- What are the biggest obstacles to creating dynamic Town Centers?
  - Traffic
  - Full interchanges
  - People afraid of change
  - Infrastructure



# WORKSHOP EXERCISES

## **Exercise #1: How susceptible is the study area to change?**



**RED** for preservation - no change



**ORANGE** for minor changes - i.e. façade improvements

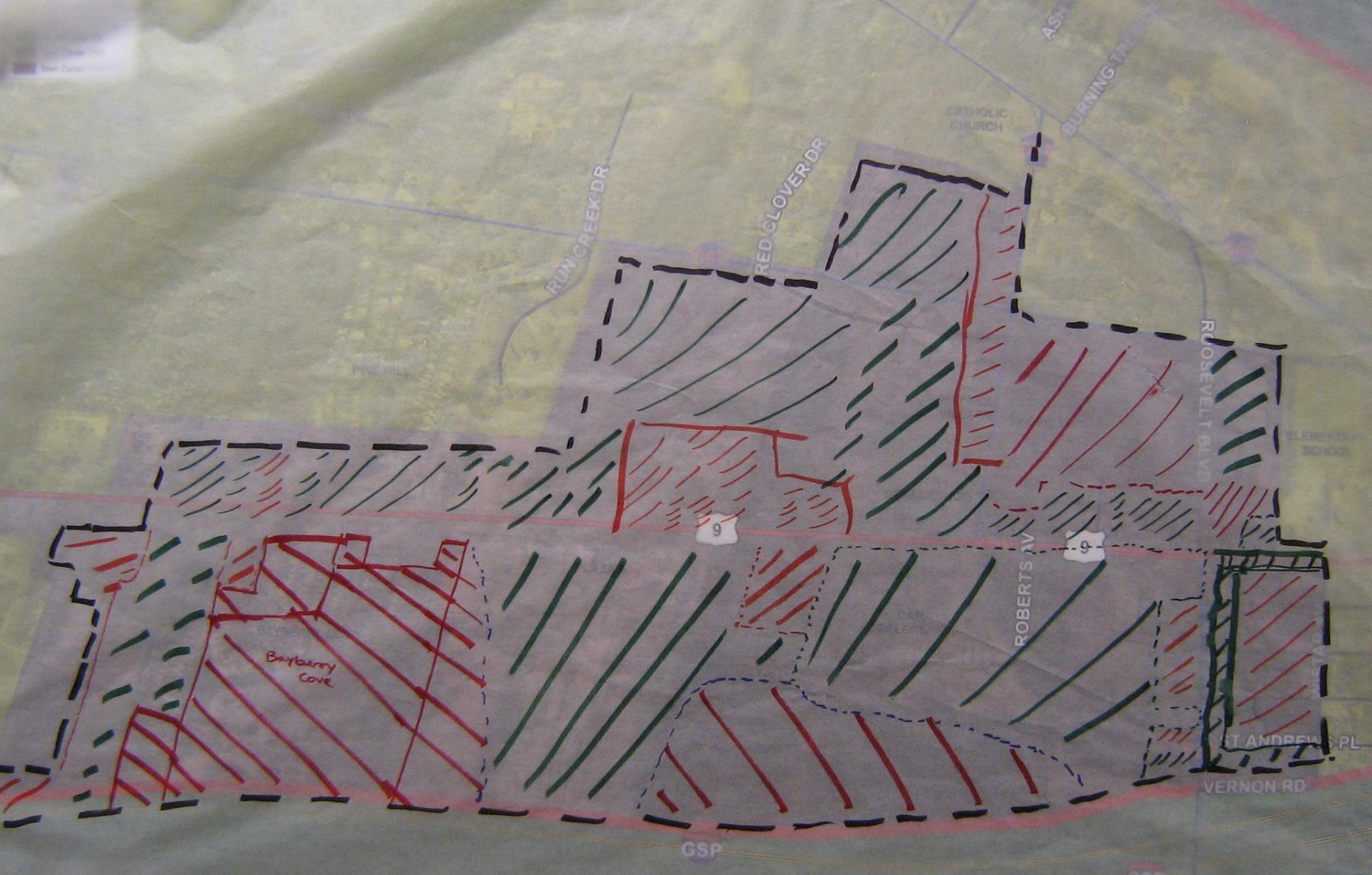


**GREEN** for transformation - development/redevelopment







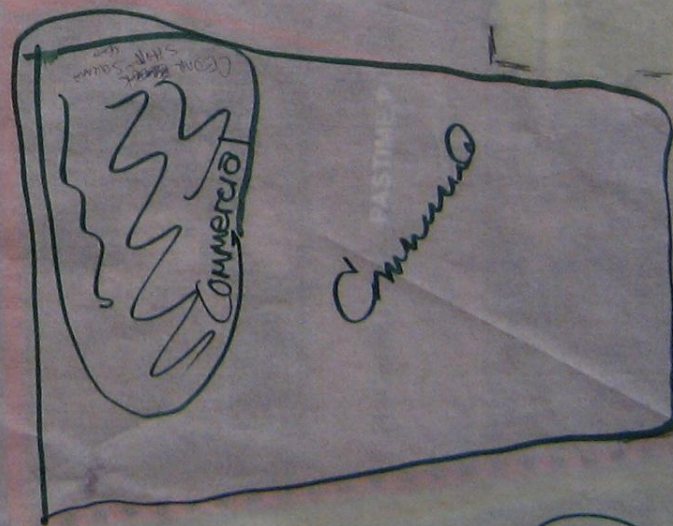
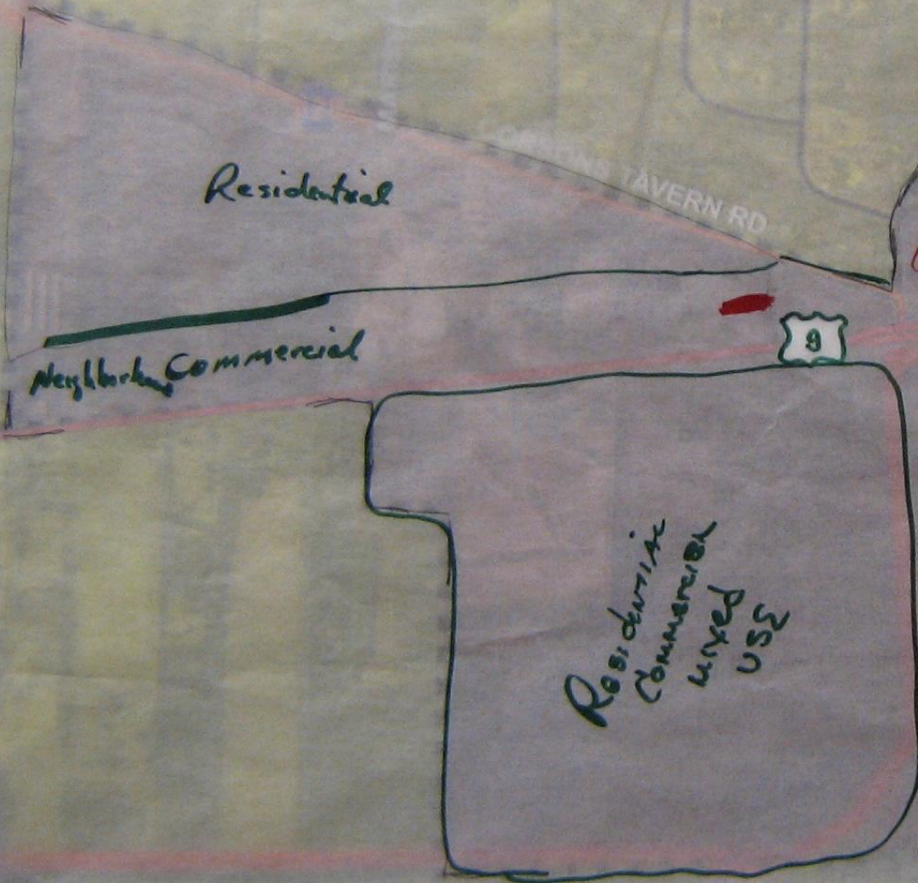


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MARSHALL STUDY AREA






2



# WORKSHOP EXERCISES

## Exercise #2: Mobility & Connections

 Existing thoroughfares that need improvement

 New thoroughfares



Image sheets – tape **one** image for each thoroughfare that illustrates how you would want it to look in the future





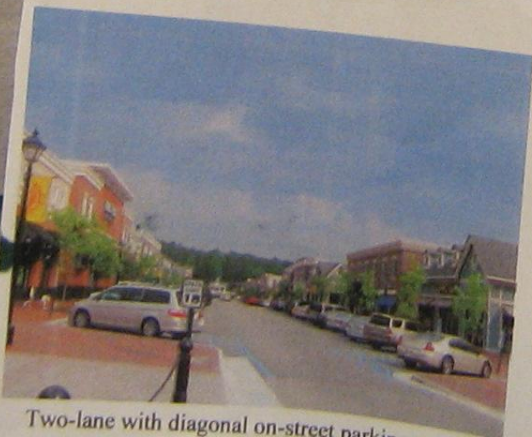




boulevard with trees, lights, etc.

2 LANE ACCESS ONLY

SIDE WALK, X WALKS, NO BIKE PATH  
RT # 9

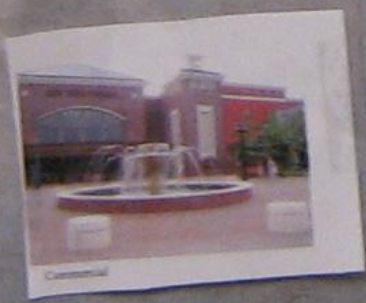
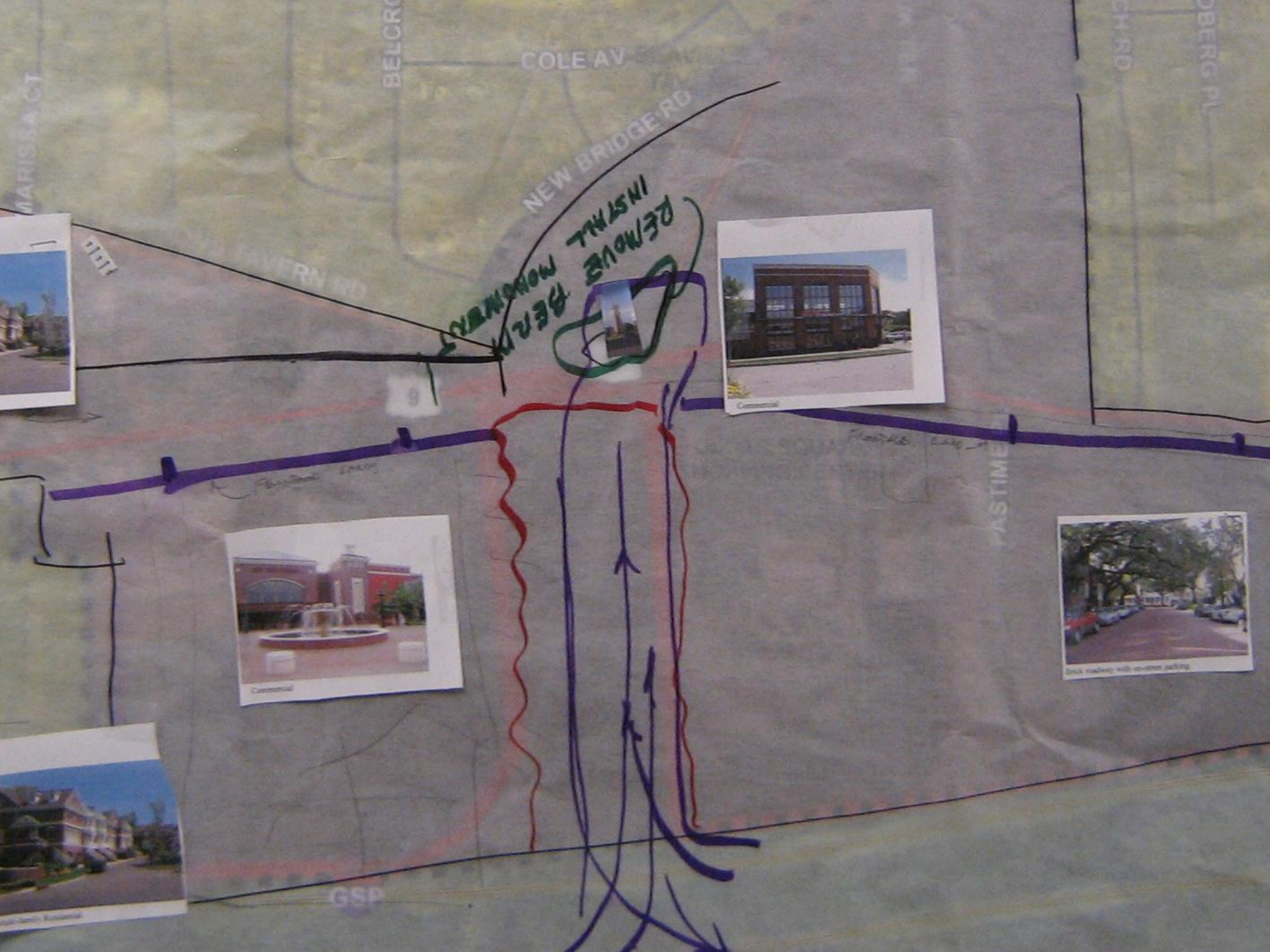


Two-lane with diagonal on-street parking



3 X  
STORIES





REMOVE BEING INSTANTLY



# WORKSHOP EXERCISES

## **Exercise #3: Buildings & Location**



What buildings are appropriate along Route 9, County roads, future streets, etc?

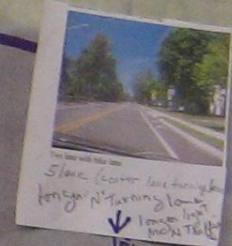


Tape two images for each thoroughfare that illustrates how you would want it to look in the future









Intermittent RS

5/10/15

Chubb

STHE CARD

2 way

2 WAY

We Want Charm, nice down lighting, Parks, trees  
Timeless architecture



Bike lane with on-street parking



Two lane with brick crosswalks

Tuckaway Rd

SHOPPING

CAR DEALERSHIPS

WAWA

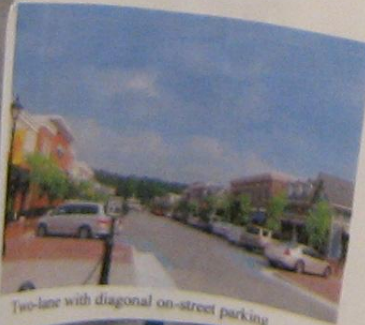
Two lane with bike lane



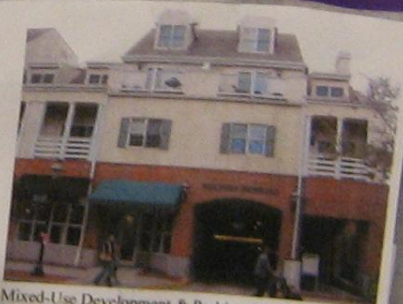
5 lane (center lane turning lane)  
longer N turning lane  
longer light  
longer N traffic



Commercial Fountain



Two-lane with diagonal on-street parking



Mixed-Use Development & Parking Garage



Mixed-Use Development

2WAY

2WAY

VERNON RD



# FINDINGS

We discovered that residents:

- Are unhappy with the aesthetic quality of the Town Centers
- Feel that many parcels in the Town Centers are ripe for development/redevelopment
- Want sidewalks and crosswalks on streets
- Feel there should be a difference in the development permitted in Marmora and that allowed in Seaville



## FINDINGS, cont.

We discovered that residents:

- Desire a bike network
- Want pedestrian-scaled buildings (not big box stores like Rio Grande)
- Didn't define a specific style for future architecture
- Demand alternative routes to Route 9








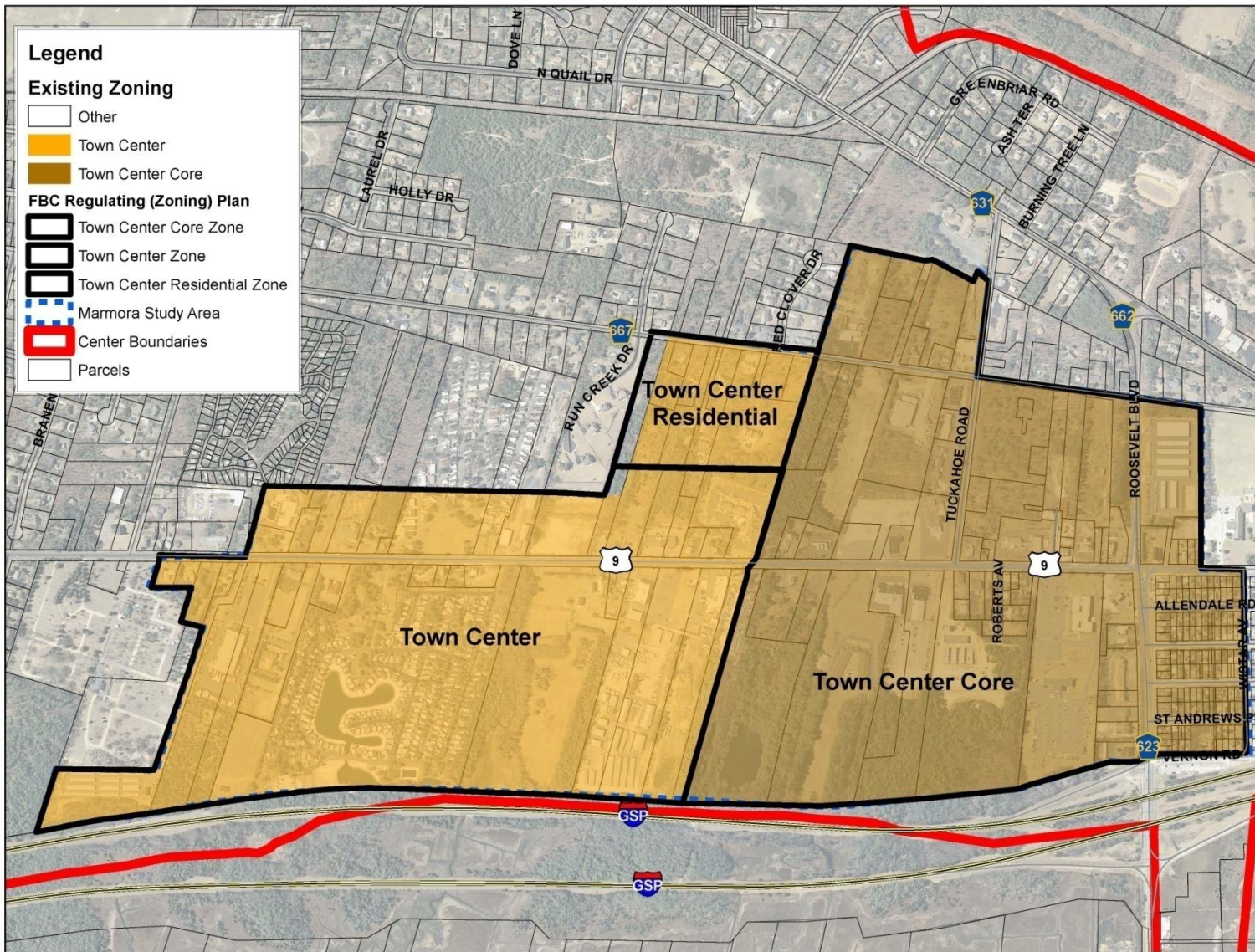
## Legend

### Existing Zoning

-  Other
-  Town Center
-  Town Center Core

### FBC Regulating (Zoning) Plan

-  Town Center Core Zone
-  Town Center Zone
-  Town Center Residential Zone
-  Marmora Study Area
-  Center Boundaries
-  Parcels



## MARMORA ZONING CHANGES

TOWNSHIP OF UPPER  
CAPE MAY COUNTY  
NEW JERSEY

FEBRUARY 2010

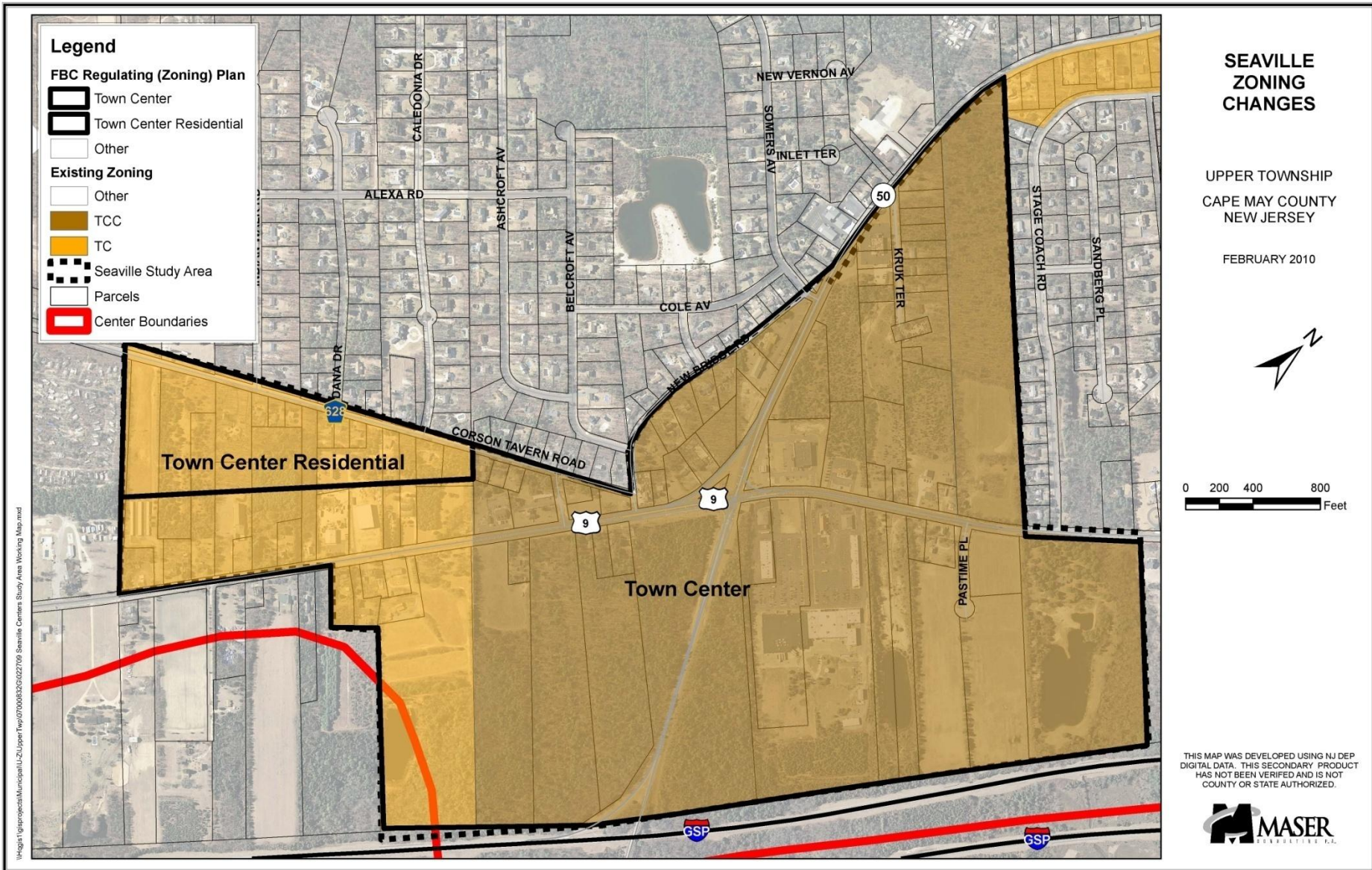


0 300 600 1,200  
Feet

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\\hogan1\geography\city\municipal\1\2\UpperTwp\070608302022769 Seaville Center Study Area Working Map.mxd



# Overview

## *Form-Based Code*



# Sections

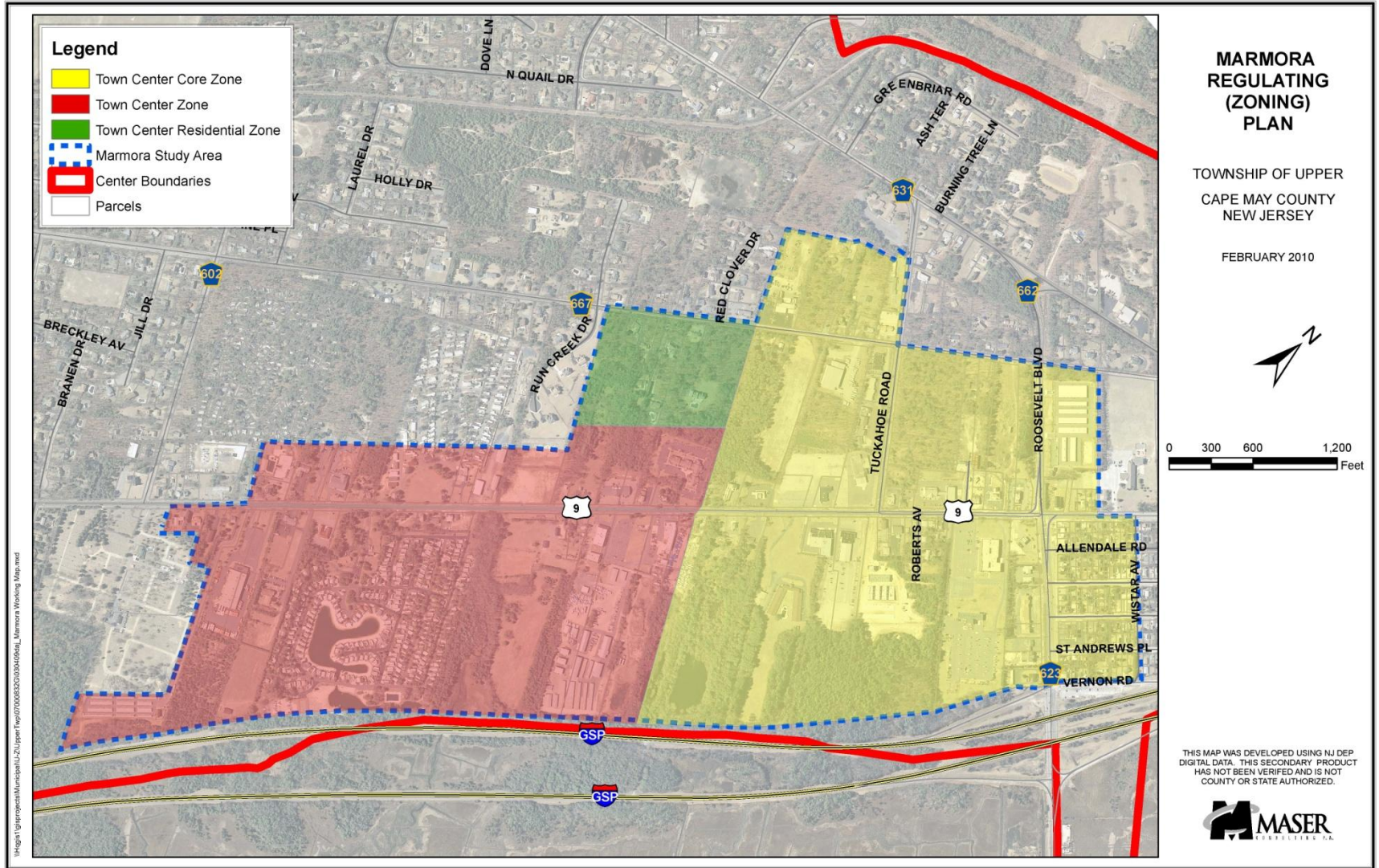
1. Vision Statement
2. Building, Parking & Use Standards
3. Street & Circulation Standards
4. Open Space & Park Standards
5. Signage Standards
6. Architectural Guidelines
7. Glossary of Terms

# #1 Vision Statement

In the year 2030, Upper Township will be a safe, **attractive** community with convenient access to employment, shopping and recreation, which will be **enhanced** with an expanded street grid, interconnected sidewalk network and a Township-wide bike system. The entire Township's **quality of life will be enhanced**. Marmora and Seaville will be **transformed** into desirable places to both live and work. The Town Centers scattered throughout both Town Centers offering **a range of parks and plazas** will contain **a variety of housing types** and provide a number of quality job opportunities for residents. Furthermore, the Town Centers will include a mixture of shops, stores and locally-owned restaurants.



# #2 BUILDING, PARKING & USE STANDARDS





# Legend

- Town Center Residential Zone
- Town Center Zone
- Seaville Study Area
- Center Boundaries
- Parcels

## SEAVILLE REGULATING (ZONING) PLAN

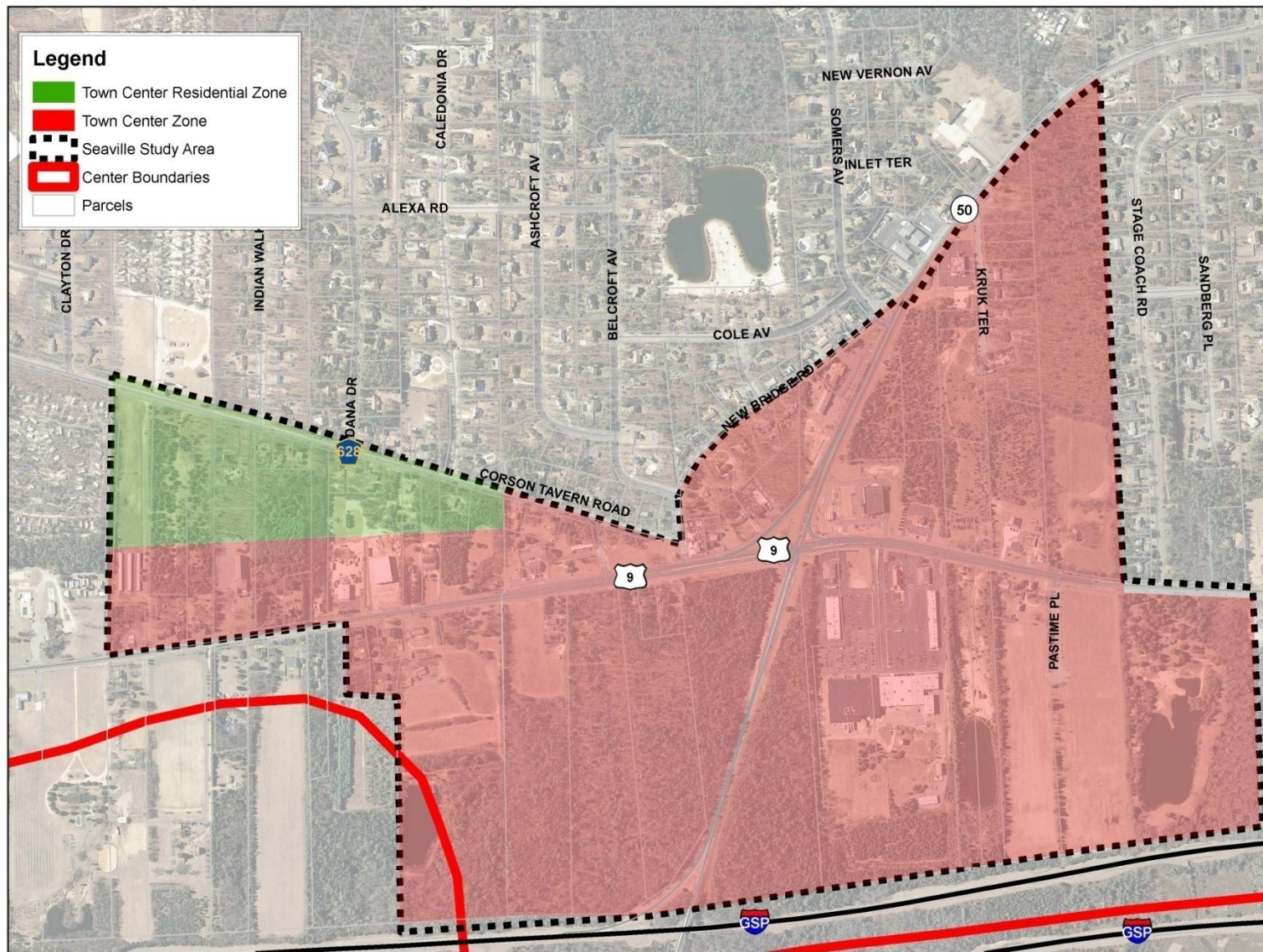
UPPER TOWNSHIP  
CAPE MAY COUNTY  
NEW JERSEY

FEBRUARY 2010



0 200 400 800  
Feet

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# TCC Zone



0.6 (2.8)



1.4 (2.6)

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### TOWN CENTER CORE (TCC) ZONE STANDARDS

**Build-to-Line Placement**

Build-to-Line (Distance from Lot Line)		
Front - Primary Street	0' min. - 8' max.	A
Front - Secondary Street	0' min. - 4' max.	B
Side	10' min.	C
Rear	30' min.	D

**Building Form**

Primary Street Façade built to BTL*	50% at 0'	E
Secondary Street Façade built to BTL*	30% at 0'	F
Lot Width	200' min.	G
Lot Depth	200' min.	H
Building Length	100' max.	I
Distance between Buildings	20' max.	J

**Notes**

\*Any building over 30' wide must be broken down to read as a series of buildings no wider than 30' each.

All buildings must have a primary ground floor entrance that faces the primary street; all doors shall be set back a minimum of 4' from the build-to-line.

**Use**

Ground Floor	Services, Retail, Recreation, Education & Public Assembly	K
Upper Floor(s)	Ground Floor Uses & Residential	L

**Height**

Building Minimum	2 stories and 25'	M
Building Maximum	3.5 stories and 55'	M
First Floor Ceiling Height	12' min. clear	N

**Coverage**

Building Coverage	40% max.
Impervious Coverage	70% max.

**Dwelling Unit Density**

As-of Right Per Acre	8 max.
Non-contiguous Parcel Density Cluster Per Acre*	16 max.

**Notes**

\* See \_\_\_\_ of the Zoning Ordinance.

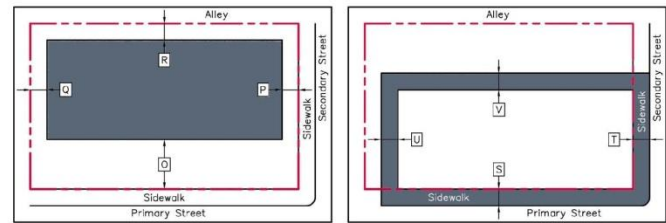
All residential development requires a 20% affordable housing setaside; see \_\_\_\_ of the Zoning Ordinance.

Loading docks and service entries are prohibited on facades that face a primary or secondary street.

# TCC Zone



TOWN CENTER CORE (TCC) ZONE STANDARDS



Lot line = red line

Parking		
Location (Distance from Lot Line)		
Front - Primary Street Setback	30' min.	<b>Q</b>
Front - Secondary Street Setback	10' min.	<b>P</b>
Side Setback	10' min.	<b>Q</b>
Rear Setback	10' min.	<b>R</b>
Required Spaces		
Automobile		
See Chapter 20-5.7.b. of the Zoning Ordinance		
Bicycle		
1 space per 20 automobile spaces		
Notes		
Shared parking is permitted for mixed-use developments when pedestrian access is provided from the street to the rear parking area. Up to a maximum of 20% of the required spaces may be shared.		
Driveways are discouraged along SR 9, Roosevelt Blvd., Tuckahoe Road and Stagecoach Road and are only permitted if there is no other option for access to parking areas.		

Encroachments		
Location		
Front - Primary Street*	6' max.	<b>S</b>
Front - Secondary Street*	6' max.	<b>T</b>
Side**	6' max.	<b>U</b>
Rear***	6' max.	<b>V</b>
Permitted Frontage Types		
Shopfront****	9' min. clear.	
Arcade****		
Forecourt****		
Notes		
*No encroachments are permitted along a County road and only canopies, awnings and hanging sign encroachments are permitted along a State or local road, which must receive an air rights easement.		
**Canopies, awnings and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the property line.		
***Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.		
****See page ____ for examples.		



# TCC vs TC

## TCC Zone



Cluster residential density =  
16 DU/acre

## TC Zone



12 DU/acre

# #3 STREET & CIRCULATION STANDARDS

- FBC contains Street Regulating Plan
  - Street types
  - Traffic lights
  - Roundabouts
- Proposed street network



## Legend

- Existing Traffic Light
- Proposed Traffic Light
- Proposed Roundabout
- Alley
- Boulevard
- Town Center Street
- Neighborhood Street
- Ramp
- County Road
- Roosevelt Boulevard
- Route 9
- Marmora Study Area
- Center Boundaries
- Parcels

## MARMORA STREET REGULATING PLAN

TOWNSHIP OF UPPER  
CAPE MAY COUNTY  
NEW JERSEY

FEBRUARY 2010



0 300 600 1,200  
Feet

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# Legend

- Existing Traffic Light
- Proposed Traffic Light
- Proposed Roundabout
- ★ Proposed Interchange
- Seaville Study Area
- Center Boundaries
- Parcels
- Alley
- Boulevard
- Town Center Street
- Neighborhood Street
- Close Existing Street
- Ramp
- County Road
- Route 9
- Route 50

## SEAVILLE STREET REGULATING PLAN

UPPER TOWNSHIP  
CAPE MAY COUNTY  
NEW JERSEY

FEBRUARY 2010



0 200 400 800  
Feet

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# Route 9



# County Roads



*County Roads (CR 667, CR 631)*



Street Design		
Design Speed	30-35 mph	
Right-of-Way	60'	<b>A</b>
Cartway Width	40'	<b>B</b>
Median	None	
Travel Lanes	12'	<b>C</b>
Shared Shoulder/Bike Lanes	8'	<b>D</b>
Parking Lanes	None	
Planting Strip	5'	<b>E</b>
Sidewalk	5'	<b>F</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting*	Required
Street Furniture Standards <sup>2</sup>	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

Notes

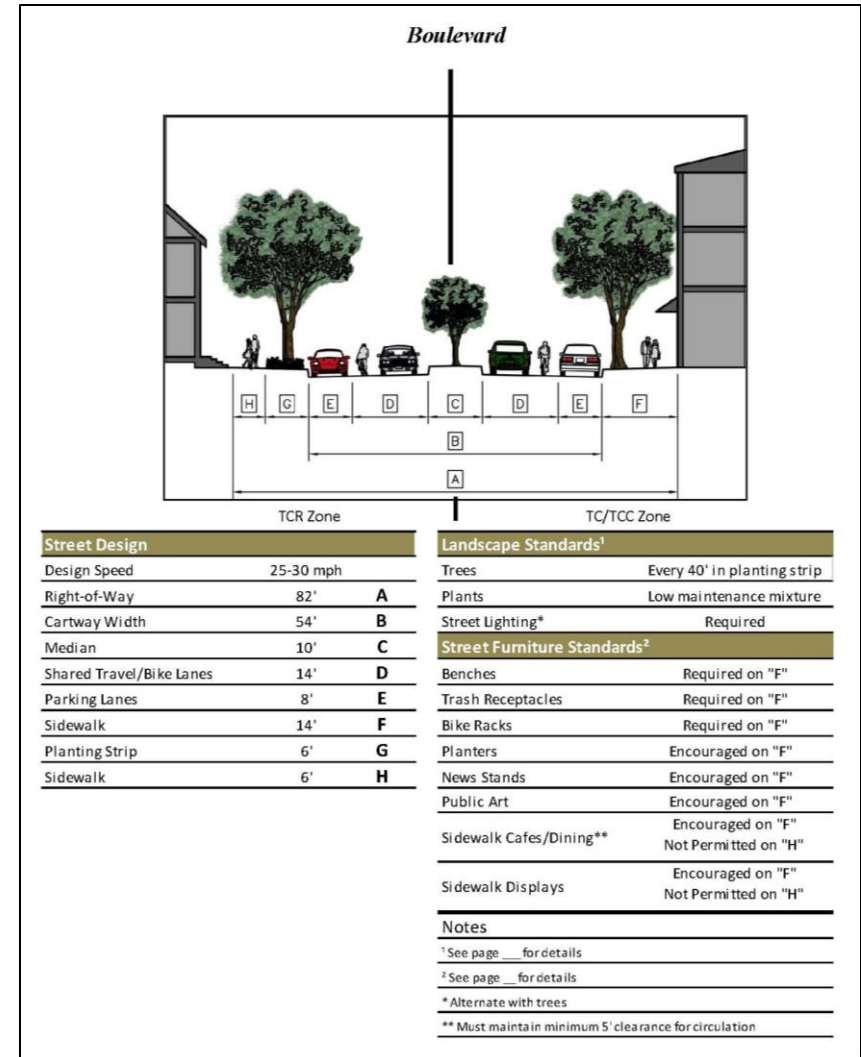
<sup>1</sup> See page \_\_\_ for details

<sup>2</sup> See page \_\_\_ for details

\* Alternate with trees



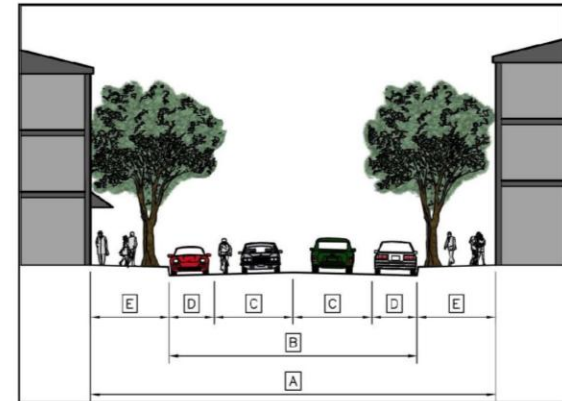
# Boulevard



# Town Center Street



*Town Center Street*



## Street Design

Design Speed	25-30 mph
Right-of-Way	72' <b>A</b>
Cartway Width	44' <b>B</b>
Median	None
Shared Travel/Bike Lanes	14' <b>C</b>
Parking Lanes	8' <b>D</b>
Planting Strip	None
Sidewalk	14' <b>E</b>

## Landscape Standards<sup>1</sup>

Trees	Every 40' in grate
Plants	-
Street Lighting*	Required

## Street Furniture Standards<sup>2</sup>

Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining**	Encouraged
Sidewalk Displays	Encouraged

## Notes

<sup>1</sup> See page \_\_\_ for details

<sup>2</sup> See page \_\_\_ for details

\* Alternate with trees

\*\* Must maintain minimum 5' clearance for circulation



# #4 OPEN SPACE & PARK STANDARDS

- Purpose to create standards for new open space and parks within the Town Centers
- 3 park typologies
  - Pocket Plaza
  - Town Center Plaza
  - Residential Square
- Type of park dependent on size and type of development

TCC & TC Zone Recreation Standards		
Mixed-use Development	Size & Type of Facility	Standards
3.0 to 4.9 acre tract	Pocket Plaza	See page __
5.0 + acre tract	Town Center Plaza	See page __

# Town Center Plaza



3.0 (1.6)  
Highest-rated open  
space photo

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### Town Center Plaza

Town Center Plazas will add vitality to the streets and create open spaces for civic purposes and commercial activity. They will provide a gathering place for the community and should be located either at the intersection of important streets or between nodes of activity. The general character of these plazas is as follows:

- Primarily hardscape surface with trees and plantings
- Defined by buildings and streets
- Outdoor dining areas and water features are strongly recommended

Spatial Standards	
Minimum Area	3.5% of lot area
Minimum Width	100'
Minimum Depth	100'

Landscape Standards	
Trees*	1 per 1,500 sf of plaza <sup>1</sup>
Planting bed*	150 sf per 1,000 sf of plaza

Pedestrian-Scaled Lighting	Required <sup>2</sup>
----------------------------	-----------------------

Notes

<sup>1</sup> In either grates (min. 5' x 5') or planting beds (min. 3' wide).

<sup>2</sup> Must maintain an average of 0.50 foot candle illumination within plaza.

\* Irrigation required unless drought resistant native species are specified.

Amenity Standards	
Benches	Required <sup>3</sup>
Trash Receptacles	Required
Bike Racks	1 per plaza
Playground Equipment	-
Planters	Required
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining	Encouraged
Retail Displays/Kiosks	Encouraged

Notes

<sup>3</sup> 1 seat or 24" of bench area per 200 sf of plaza.



# Pocket Plaza



Pocket Plazas are the smallest type of open space within the Town Centers. They are similar in nature to Town Center Plazas, but act as secondary focal points with the Centers. Typically, these parks are located mid-block, between buildings. Pocket parks provide intimate spaces for seating and dining. They can be created around a sculpture or planting beds.

The general character of these plazas is as follows:

- Primarily hardscape surface with trees and plantings
- Defined by buildings
- Outdoor dining areas are strongly recommended

# Residential Square



Residential Squares will provide a space for residents living within the Town Centers to meet and relax. They function as a large open space for passive or active uses. Trees and plantings should define the edges of the square. The general character of these residential squares is as follows:

- Primarily lawn surface with trees and plantings
- Defined by buildings and streets
- Shaded areas for seating, gazebos and water features are strongly recommended



# #5 SIGNAGE STANDARDS



2.7 (2.1)



2.1 (2.6)

This section shall serve to amend Chapter 20-5.10.b.3 and 4 of the Zoning Ordinance with regards to the TC and TCC Zones. The TCR Zone shall follow the signage regulations contained in Chapter 20-5.10.b.6.

## TC and TCC Permitted Signage

### (a) Wall signage

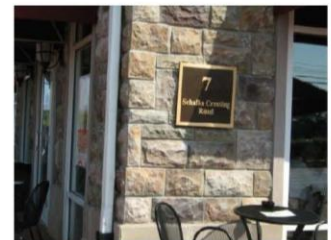
- (1) One of the three below for each street frontage of each business:
  - i. Internally-lit raised letters with concealed ballast.
  - ii. Back-lit raised letters with concealed ballast.
  - iii. Signage board with gooseneck lighting.
- (2) Area shall be 80% of the linear lessee frontage to a maximum of 30 square feet.
- (3) Wall signage is also permitted for walls facing rear parking areas with the same area as permitted on the front façade.
- (4) Wall signage must be located below the second story floor line.

### (b) Hanging Signs

- (1) One sign is permitted per business per street frontage that is attached perpendicular to the street in addition to the wall signage.
- (2) Area shall be a maximum of 10 square feet.
- (3) Letter/logo height shall be a maximum of 6".
- (4) Hanging signage must be located below the second story floor line.

### (c) Street Address Signage

- (1) Street address signage is required on each building or individual tenant.
- (2) Numbers shall be a maximum of 8" in height.



# #6 ARCHITECTURAL GUIDELINES



**1.4 (2.6)**  
Second highest rated  
building photograph

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## *Guidelines*

All buildings shall be designed to convey a small-town scale and character. Buildings shall contain the following design elements:

### **MATERIALS**

- Building façades visible from a street shall consist of brick, stone, cast stone, clapboard, cedar shakes or other high-quality material.
- Cornices shall consist of wood, stone or fiberglass.

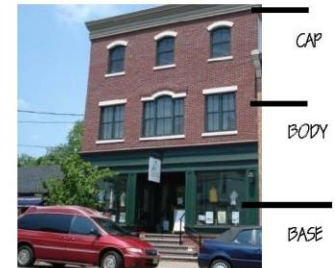
### **SCALE**

- The building facade shall create a defining wall along the streetscape.
- Covered archways (minimum eight feet wide) may connect rear parking areas to the street, enabling pedestrian circulation in the **TCC and TC Zones**.
- Building exteriors shall have vertical and/or horizontal offsets to create visual breaks on the exterior.
- Long, blank, windowless, monotonous, uninterrupted walls or roof planes are not permitted.
- Building wall offsets, including projections and recesses such as balconies, canopies, awnings, architectural details are encouraged.
- Blind windows, display windows and/or intensive landscaping are encouraged in place of blank walls in the **TCC and TC Zones**.



### **ARTICULATION**

- The building façade shall have a clearly defined base, body and cap.
- The middle section of the façade may be horizontally divided at floor, lintel or sill levels with belt courses.
- The architectural treatment of a façade shall be completely continued around all street facing façades of a building. All sides of a building shall be architecturally designed so as to be consistent with regard to style, materials, colors and details.





# #7 GLOSSARY OF TERMS

- Purpose to define new terms not currently in Upper Township's code
- Will be incorporated into the zoning definitions section

**Frontage Type** – the type of façade that is permitted on a primary street (front yard).

**Half Story** – a space under a sloping roof that has the line of intersection of the roof and wall face not more than three feet above the floor level and in which space the possible floor area with head room of five feet or less occupies at least 40% of the total floor area of the story directly beneath.

**Mixed-use** – a building containing more than one use in it.

**Parking structure** - a multi-storey structure (also called a parking garage or parking deck) that is designed specifically for automobile parking and where there are a number of floors or levels.

**Pedestrian-scaled lighting** – lighting that is 15' or less in height.

**Portico** – a porch leading to the entrance of a building or extended as a colonnade, having a roof structure over a walkway that is supported by columns.

**Primary Street** – the frontage of the lot.

**Zone Regulating Plan** – a zoning map that shows the location of various zoning districts.

**Secondary Street** – occurs on corner lots, the side of a lot.

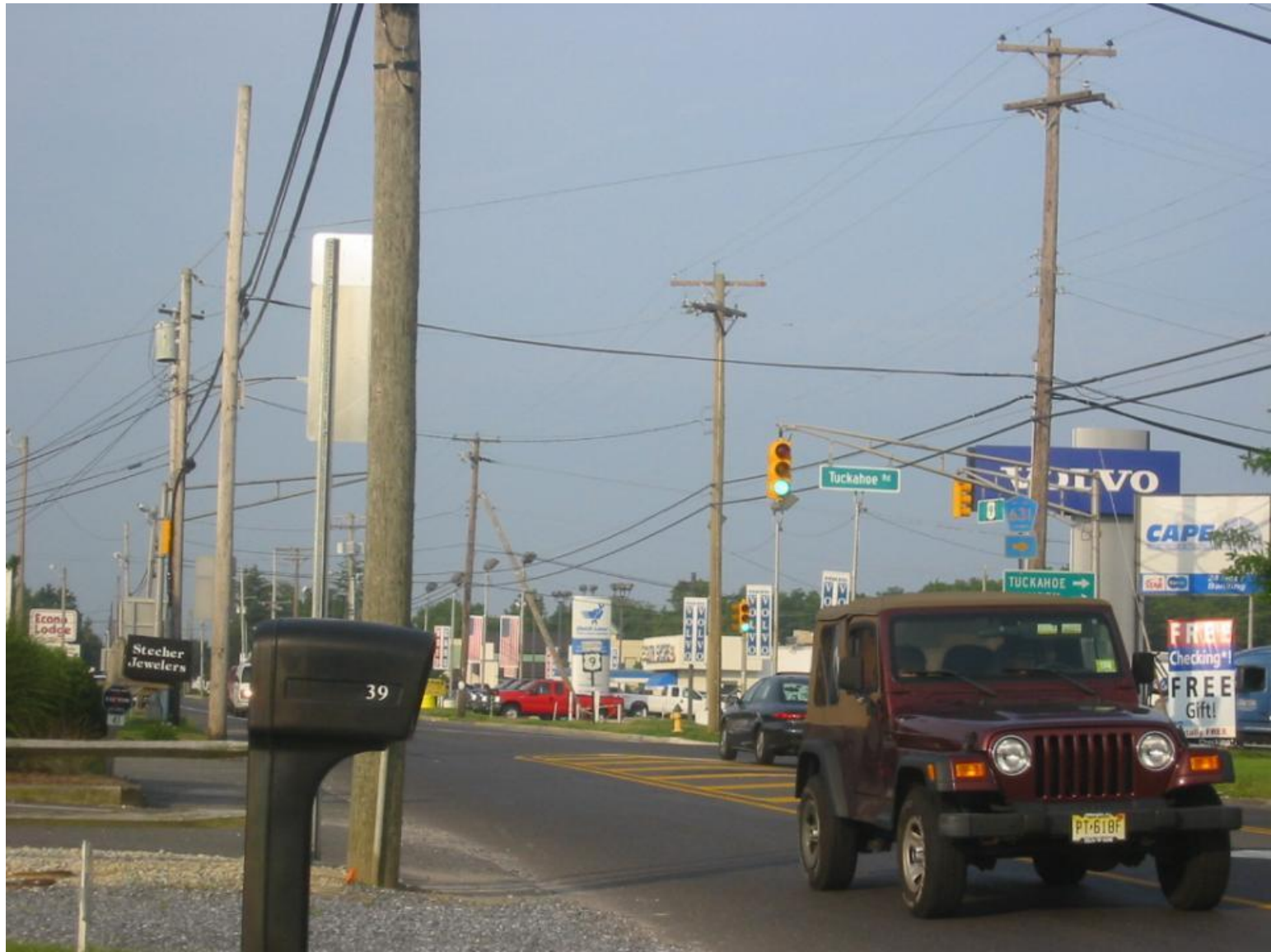
**Shared Parking** – parking spaces that are assigned to more than one use.

**Street Regulating Plan** – a map that shows the location of existing and proposed streets.

How will this work?  
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# Route 9 at Old Tuckahoe Road



# Route 9 at Old Tuckahoe Road





# Examples: Infill of Existing Development



*Further infill development*



# Examples: Streetscape Infill





# Examples: Streetscape Infill



*Sidewalk-oriented buildings in foreground*

# Questions & Answers

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